

DHCD PADD Solicitation 809-813 Kennedy Street NW

Community Presentation
February 28, 2017



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PROJECT TEAM

The Menkiti Group (Co-Developer)

- Bo Menkiti, Founder & CEO
- Brian Burke, Executive Vice President
- Mark Rengel, Vice President of Development

MED Developers (Co-Developer)

- Bruce Finland, Managing Member
- John Maxwell Finland, Director of Operations
- Nick Finland, Vice President of Development
- Darnell Lambey, Project Manager

Miner Feinstein Architects (Architect)

- Alan Miner, AIA, LEED AP, Principal
- Marc Feinstein, AIA, LEED AP, Principal

GCS Inc. (General Contractor)

- Michael Sigal, President





TRANSFORMING LIVES, CAREERS, AND COMMUNITIES THROUGH REAL ESTATE

IMPACT

NEIGHBORHOOD INVESTMENT MODEL

Great cities need great neighborhoods

- ✓ Mixed-Income Housing
- ✓ Thriving Commercial Corridors
- ✓ Vibrant Culture
- ✓ Jobs and Small Businesses

Tenants & Clients that Change Communities

ROCKLANDS
Barbeque and Grilling Company


salumeria
2703

CAVA
Mezze Grill

Re/CREATIVE
SPACES


**Annie's
HARDWARE**



CAFÉ SAINT-EX
Washington DC

THE BAKERS' LOUNGE




EXCEL PILATES ^{DC}
EMPOWER YOUR BODY • EMPOWER YOUR MIND®



Taste The Difference!



CENTRAL UNION MISSION

ABOUT SERVING NEIGHBORS CHANGING


BYTE BACK
Training for Successful Futures


WACIF
Washington Area Community Investment Fund


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PROJECT OVERVIEW

Our concept presents a unique opportunity

- Brings much needed mixed-use and density
- Activates the historic commercial core
- Enhances public realm / streetscape
- Led by a project team with a proven track record
- Project program is matter-of-right
- Requires no government funding subsidy
- Ability to execute immediately upon award
- Both development team members are existing stakeholders in the community

PROJECT OVERVIEW

- **39 For Sale Residential Units**
 - 20 Affordable Units @ 80% AMI
 - 19 Market Rate Units
 - 13 Secure Vehicle Parking Spaces
 - Secure Bicycle Parking
- **2,575 SF Neighborhood Retail**
 - 930 SF Community Function Space
- **Residential Unit Mix**
 - 3 Studio, One Bath Units
 - 33 One Bedroom, One Bath Units
 - 3 Two Bedroom, One Bath Units

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CONCEPT MODEL - STREET VIEW



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MINER FEINSTEIN
ARCHITECTS

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- DWELLING UNITS
- COMMERCIAL
- HORIZONTAL CIRCULATION / AMENITY
- VERTICAL CIRCULATION
- UTILITY



GARAGE FLOOR CONCEPT



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- DWELLING UNITS
- COMMERCIAL
- HORIZONTAL CIRCULATION / AMENITY
- VERTICAL CIRCULATION
- UTILITY



FIRST FLOOR CONCEPT



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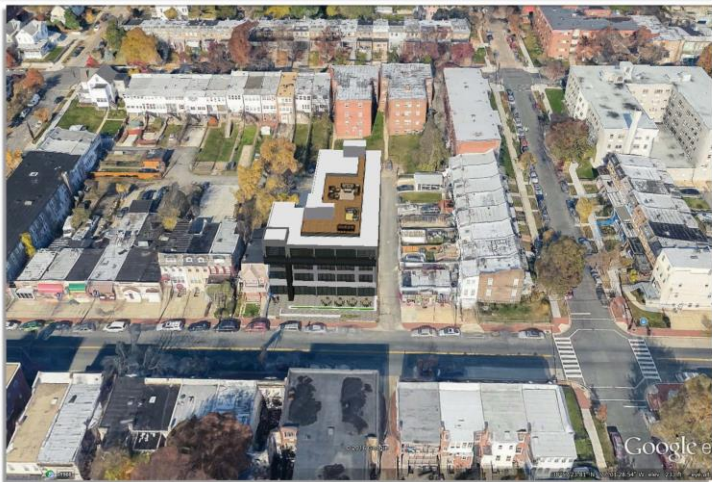
- DWELLING UNITS
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- UTILITY



TYPICAL FLOOR CONCEPT — FLOORS TWO THROUGH FOUR



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CONCEPT MODEL - AERIAL

DEVELOPMENT TIMELINE

- **Community Meeting** February 28, 2017
- **Developer Selection** April 1, 2017
- **Public Hearing** May 1, 2017
- **Closing Date with PADD** June 15, 2017
- **Construction Start** Fall 2017
- **Construction Duration** ~ 12 months
- **Substantial Completion** Fall 2018
- **Units Listed For Sale** Fall 2018